

41, 45, and 47 West Main Street Façade Remodel Changes Project Narrative

Overview

The façade remodels included in this submittal are part of the larger City of Mesa project to revitalize the downtown streetscape by restoring the historic character of individual properties and by providing enhancements that improve the urban vitality and pedestrian-oriented features. In the first round, seven properties' façades were remodeled and the façades included in this request were previously approved in 2017.



Existing front elevation of 41, 45, and 47 West Main Street with existing colonnade



Elevations Previously Approved in 2017

Unfortunately, the City was not able to build all the approved façades. The bids that were received were severely over budget and the designs had to be revised. The façades for the three building have been revised to provide a more historically appropriate and modest front façade which will still provide the facelift that these buildings severely need. The existing colonnade that spans the three buildings will be removed. In addition, to help refresh the façade, the existing cornice currently located below the parapet will be cleaned up and repainted and the existing brick will be power washed, and the mortar will be repointed as needed.



Proposed Elevations

41 West Main Street

DRB17-00114

The existing colonnade will be removed and replaced with a new metal canopy, storefront door and taller window system. The new canopy will be self-supported, is made of 12" wide steel beams and metal deck supported by metal columns. The canopy and columns will be painted black to give it a more modern aesthetic and will provide significant shade over the pedestrian walkway. New exterior light fixtures will also be provided under the new canopy. The new canopy will have a clear height of 10'-5" which will provide increased visibility into the storefront and will provide an updated, refreshed, and attractive façade.

45 West Main Street

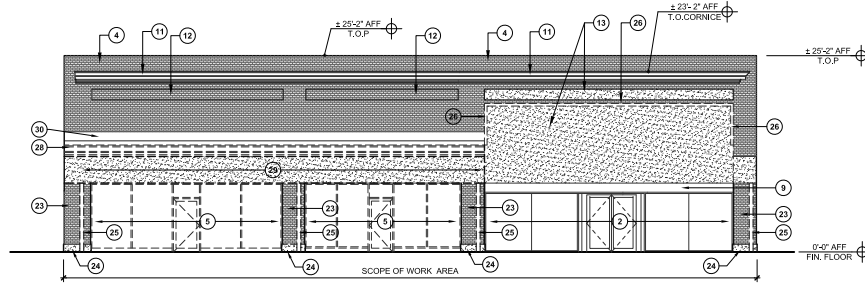
DRB17-00115 Linton-Milano Pianos

The existing colonnade will be removed and replaced with a new storefront door and window system. A 4' deep awning will be provided. The existing storefront is damaged to the point that the door does not close. The new storefront window and door system will be taller to allow more visibility into the store.

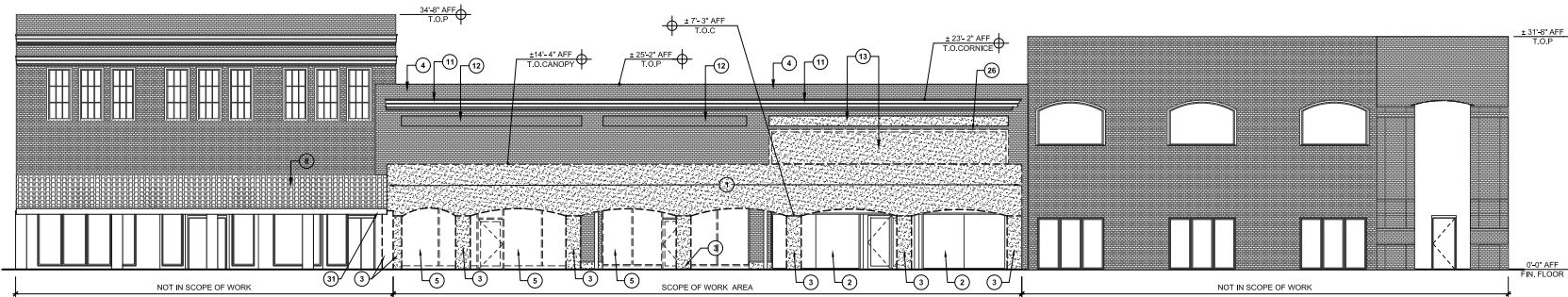
47 West Main Street LeStudio

DRB17-00116

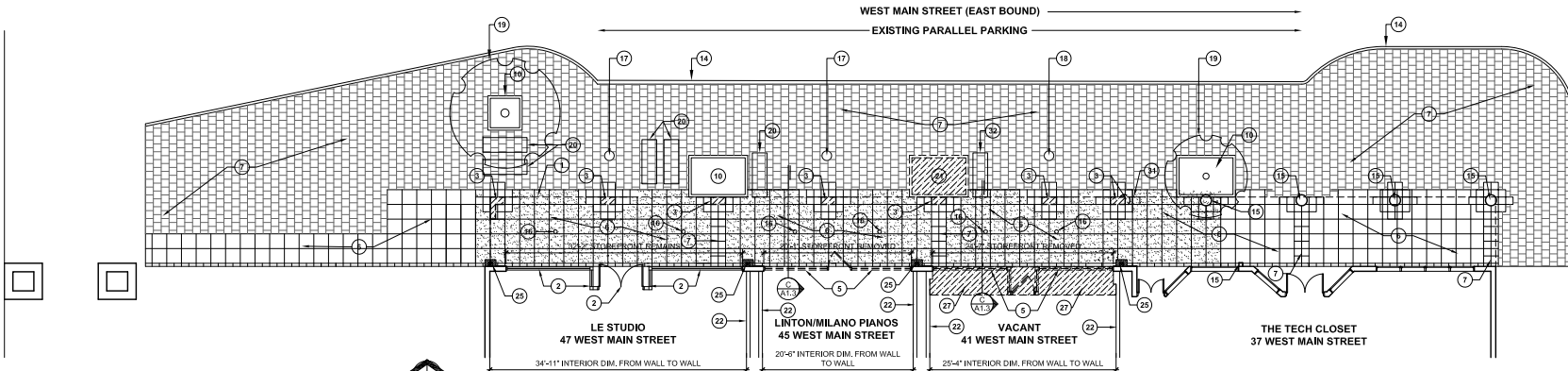
Remove existing steel columns adjacent to the building and remove the existing colonnade projecting into the right-of-way. The light fixtures mounted under the existing colonnade will also be removed and replaced. The existing 32'-2" storefront will remain. There will be 48" x 96" 9MM thick polished tiles added to the area above the three new canopies that will be installed over the front façade.



1 EXISTING / DEMOLITION NORTH ELEVATION - STOREFRONT SCOPE OF WORK AREA
SCALE: 1/8" = 1'-0"



2 EXISTING / DEMOLITION NORTH ELEVATION - ARCADE FACADE
SCALE: 1/8" = 1'-0"



1 EXISTING/DEMOLITION SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING / DEMOLITION KEYNOTES

- Ⓚ EXISTING CANOPY STRUCTURE & FACADE TO BE REMOVED
- Ⓚ EXISTING STOREFRONT SYSTEM REMAINS
- Ⓚ EXISTING CANOPY COLUMN TO BE REMOVED
- Ⓚ EXISTING BRICK FACADE. REMOVE ALL EXISTING NON USED CONDUITS, CLAMPS, WALLS, ANCHORS AND OTHER SIMILAR DEVICES
- Ⓚ EXISTING STOREFRONT DOOR & WINDOW SYSTEM TO BE REMOVED
- Ⓚ EXISTING CONCRETE SIDEWALK REMAINS
- Ⓚ EXISTING DECORATIVE PAVERS REMAIN
- Ⓚ EXISTING TILE ROOF TO REMAIN
- Ⓚ EXISTING ROLLING SERVICE DOOR REMAINS
- Ⓚ EXISTING PLANTER REMAINS
- Ⓚ EXISTING CORNICE REMAINS
- Ⓚ EXISTING RECESSED BRICK DETAIL
- Ⓚ EXISTING PAINTED BRICK
- Ⓚ EXISTING FACE OF CURB
- Ⓚ EXISTING COLUMN REMAINS
- Ⓚ EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- Ⓚ EXISTING LIGHT POLE FIXTURE TO BE REMAIN
- Ⓚ EXISTING LIGHT POLE FIXTURE TO BE REMOVED & SALVAGE TO CITY OF MESA. PROVIDE CONCRETE VAULT AND COVER FLUSH WITH PAVEMENT TO RE-CONNECT CIRCUITS. FIELD-VERIFY EXISTING CONDITIONS.
- Ⓚ EXISTING TREE REMAINS
- Ⓚ EXISTING STREET BENCHES REMAIN
- Ⓚ EXISTING PLANTER TO BE REMOVED AND REPLACED WITH DECORATIVE PAVERS TO MATCH EXISTING
- Ⓚ EXISTING DEMISING WALL (PARTY WALL) REMAINS
- Ⓚ POWERWASH BRICK; REMOVE PAINT
- Ⓚ EXISTING CEMENT PLASTER HANSSCOT TO REMAIN
- Ⓚ REMOVE EXISTING TUBE STEEL COLUMN (AT THESE LOCATIONS. SAWCUT AND REMOVE EXISTING PAVEMENT AROUND COLUMN AND REPLACE WITH NEW CONCRETE PAVEMENT TO MATCH TYPICAL)
- Ⓚ REMOVE EXISTING CEMENT PLASTER POP OUT/TRM.
- Ⓚ SAW CUT AND REMOVE EXISTING CONCRETE SLAB TO TRANSITION TO EXTERIOR GRADE. SEE CONSTRUCTION PLAN.
- Ⓚ REMOVE EXISTING ROOF FLASHING
- Ⓚ REMOVE EXISTING FRAME WALL AND FINISH
- Ⓚ EXISTING STEEL BRICK LEDGER / LINTEL TO REMAIN
- Ⓚ SHORE EXISTING CANOPY. STRUCTURE TO REMAIN. SEE CONSTRUCTION PLANS
- Ⓚ EXISTING STREET BENCHES TO BE REMOVED

GENERAL DEMOLITION NOTES

1. SALVAGE ALL EXISTING CONCRETE PAVERS FOR REUSE IN THE PROJECT. EXCESS PAVERS TO BE RETURNED TO CITY OF MESA.
2. PROTECT EXISTING PAVEMENT AREAS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OPERATIONS. ALL DAMAGED MATERIALS SHALL BE REPLACED IN-KIND.
3. ALL DEMOLITION AREAS MAY NOT BE SHOWN. SEE CONSTRUCTION PLANS PRIOR TO DEMOLITION ACTIVITIES AND COORDINATE REQUIREMENTS.
4. PROVIDE ALL TEMPORARY SHORING AND WEATHER PROTECTION WALLS AS REQUIRED TO MAINTAIN EXISTING STRUCTURE INTEGRITY AND PROTECT INTERIOR OCCUPIED SPACES.
5. MAINTAIN ALL EXITS TO EXISTING OCCUPIED SPACES. IF PROTECTION WALLS INTERRUPT EXITS, PROVIDE DOORS AND HARDWARE IN PROTECTION WALLS AS REQUIRED.

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JOB NO. 1721



CITY OF MESA
ENGINEERING DEPARTMENT
DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

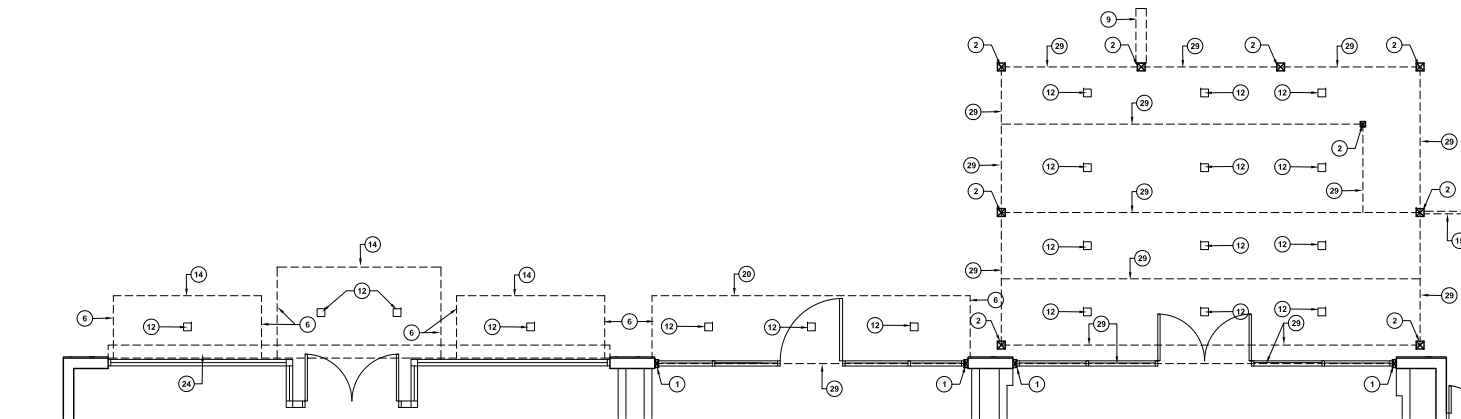
EXISTING/DEMOLITION
PLANS & ELEVATIONS

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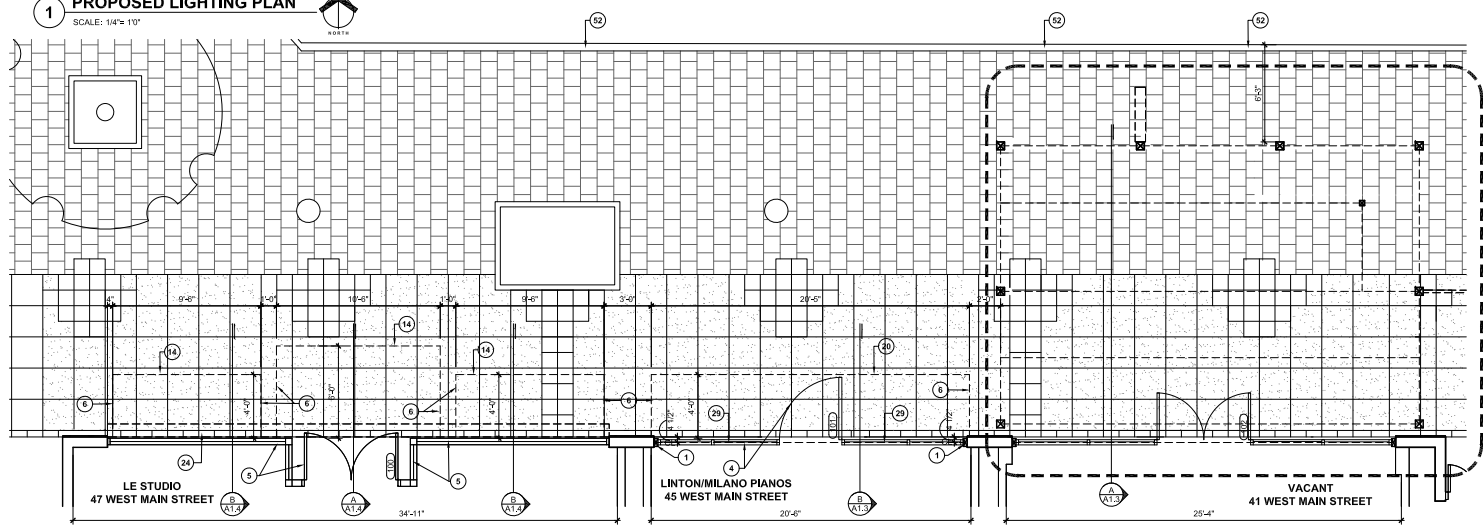
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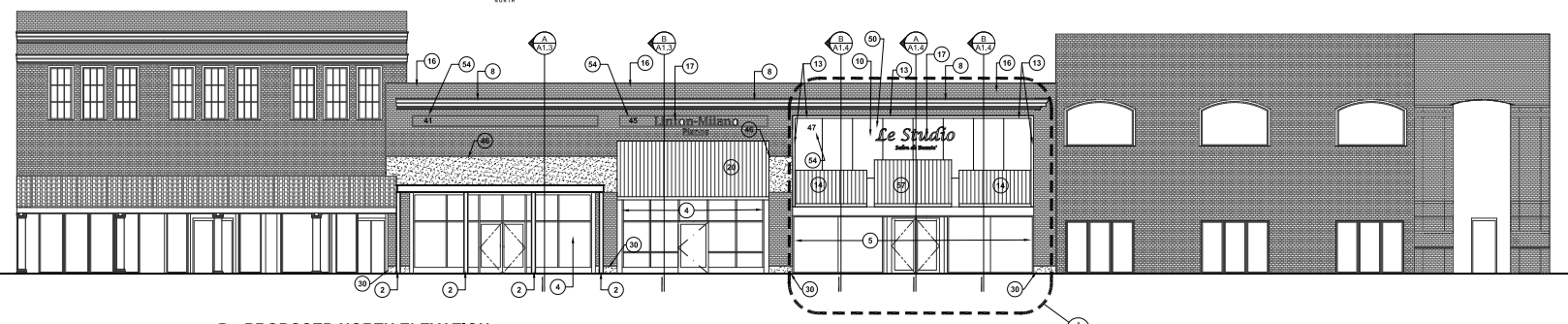
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1 PROPOSED LIGHTING PLAN
SCALE: 1/4" = 1'



2 PROPOSED SITE/FLOOR PLAN
SCALE: 1/4" = 1'



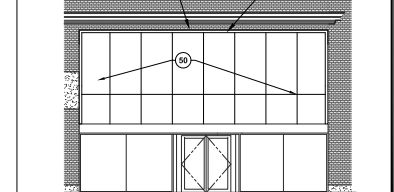
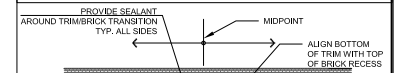
3 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'

CONSTRUCTION KEYNOTES (SOME KEYNOTES MAY NOT APPLY)

- 1 NEW STEEL COLUMN: PAINT DARK ANODIZED: SEE STRUCT. DWGS.
- 2 NEW STEEL COLUMN: EXPOSED DO NOT PAINT, SEE STRUCT. DWGS.
- 3 NEW STOREFRONT DOOR AND WINDOW SYSTEM
- 4 EXISTING STOREFRONT REMAINS
- 5 ENCLOSE AWNING END WITH METAL PANEL SYSTEM, PROVIDE ALL TRIM & ACCESSORIES, PANEL TO MATCH CANOPY PROFILE
- 6 CLEAN AND PREPARE EXISTING CORNICE FOR NEW PAINT; COLOR AS SELECTED BY OWNER.
- 7 NEW MARQUEE SIGN LOCATION - NOT IN CONTRACT, REQUIRES SEPARATE PERMIT & APPROVAL
- 8 CEMENT PLASTER SCRATCH COAT OVER EXISTING BRICK TO PREPARE SURFACE TO ACCEPT NEW WALL TILE.
- 9 NEW LIGHT FIXTURE, SEE ELECTRICAL DWGS.
- 10 NEW FOAM POP OUT TRIM WITH SMOOTH CEMENT PLASTER FINISH, MATCH EXISTING WIDTH X 2" THICK, PROVIDE COMPLETE SURROUND AT NEW TILE APPLICATION, PAINT TRIM: COLOR SELECTED BY OWNER.
- 11 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC, DUTCH STANDING SEAM COLOR: GRAY
- 12 EXISTING WOOD BEAM REMAINS
- 13 EXISTING EXTERIOR BRICK WALL: POWER WASH (2800 PSI MAX), RE-POINT MORTAR AS NEEDED
- 14 NON-ILLUMINATED SIGN, NOT IN CONTRACT - REQUIRES SEPARATE PERMIT & APPROVAL, PAINT OVER EIFS TRIM - MANUF: DUNN EDWARDS; DE5069 BANISTER BROWN
- 15 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC, DUTCH STANDING SEAM COLOR: BLACK
- 16 EXISTING CONCRETE BEAM AND STEEL BRICK LEDGER
- 17 EXISTING WOOD FRAME CONSTRUCTION
- 18 EXISTING WALL ASSEMBLY TO REMAIN
- 19 EXISTING ROLLING SERVICE DOOR
- 20 NEW COLUMN BEYOND: SEE STRUCT. DWGS.
- 21 NEW STEEL ANGLE BRACE AT 24" O.C. ANCHORED TO WALL, PAINT FLAT BLACK
- 22 EXISTING CONCRETE SLAB
- 23 NEW BEAM ABOVE, SEE STRUCT. DWGS.
- 24 RE-PLASTER WAINSCOT AND PAINT TYP.
- 25 2"x2" T.S. VERTICAL POST @ GUARDRAIL TYP.
- 26 NEW WIDE-FLANGE STEEL BEAM TYP., SEE STRUCT. DRAWINGS
- 27 NEW METAL DECK
- 28 REMOVE 2X WOOD INFILL WALL
- 29 REMOVE WOOD BEAM
- 30 REMOVE STOREFRONT SYSTEM
- 31 NEW EIFS PAINT TO MATCH MANUF: DUNN EDWARDS; DE5263 SONORA SHADE (3-COAT CEMENT PLASTER FINISH ACCEPTABLE ALTERNATIVE) SMOOTH FINISH
- 32 NEW 5/8" GYPSUM BD., PAINT
- 33 NEW WOOD STUD WALL INFILL, SEE STRUCTURAL DWGS.
- 34 NEW GULAN WOOD BEAM, SEE STRUCTURAL DWGS.
- 35 NEW LARGE FORMAT TILE: ANIMA CALACATTA-CRO 48" X 95" 9MM THICK POLISHED 4" GROUT JOINT, INSTALL IN ACCORDANCE WITH TCNA W201, CONTACT HEATHER AT KÄRBER TILE 4803221180 heather@karserllc.net
- 36 NEW CONCRETE FOOTING, PER STRUCTURAL DWGS.
- 37 LINE INDICATES FACE OF CURB
- 38 ADDRESS NUMBER, MINIMUM 12" HIGH WITH 2" STROKE ON CONTRASTING BACKGROUND, PER SECTION FPD 605.1 & FPC 605.1
- 39 SAW CUT AND REMOVE EXISTING CONCRETE SLAB AT SUITE 41 ONLY TO PROVIDE TRANSITION TO EXISTING EXTERIOR CONCRETE SLAB
- 40 NEW 4" THICK CONCRETE SLAB SLOPED AT 2% FROM EXISTING EXTERIOR SLAB GRADE TO EXISTING FINISH FLOOR ELEVATION
- 41 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC, DUTCH STANDING SEAM COLOR: ANODIZED BRONZE

GENERAL FLOOR PLAN NOTES

1. PAVEMENT REPLACEMENT REQUIRED BY DEMOLITION AND CONSTRUCTION ACTIVITIES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY LOCATIONS AND QUANTITIES.
2. ALL PAVEMENT MATERIALS SHALL BE REPLACED WITH LIKE MATERIALS AND FINISHES. CONCRETE PAVERS MAY BE RE-USED FROM SALVAGE STOCK. CONCRETE REPLACEMENT SHALL BE NEW MEETING MAG STANDARDS AS REQUIRED BY CITY OF MESA.



4 WALL TILE ELEVATION
SCALE: 1/8" = 1'

JOB NO. 1721

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CITY OF MESA
ENGINEERING DEPARTMENT
DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

NEW CONSTRUCTION PLANS AND ELEVATIONS

EXPIRES 3-31-20

ACTIVITY: PRJ. NO. 3 SHEET OF 14 CATALOG NUMBER: A-195581

DRAWING NO. A1.1

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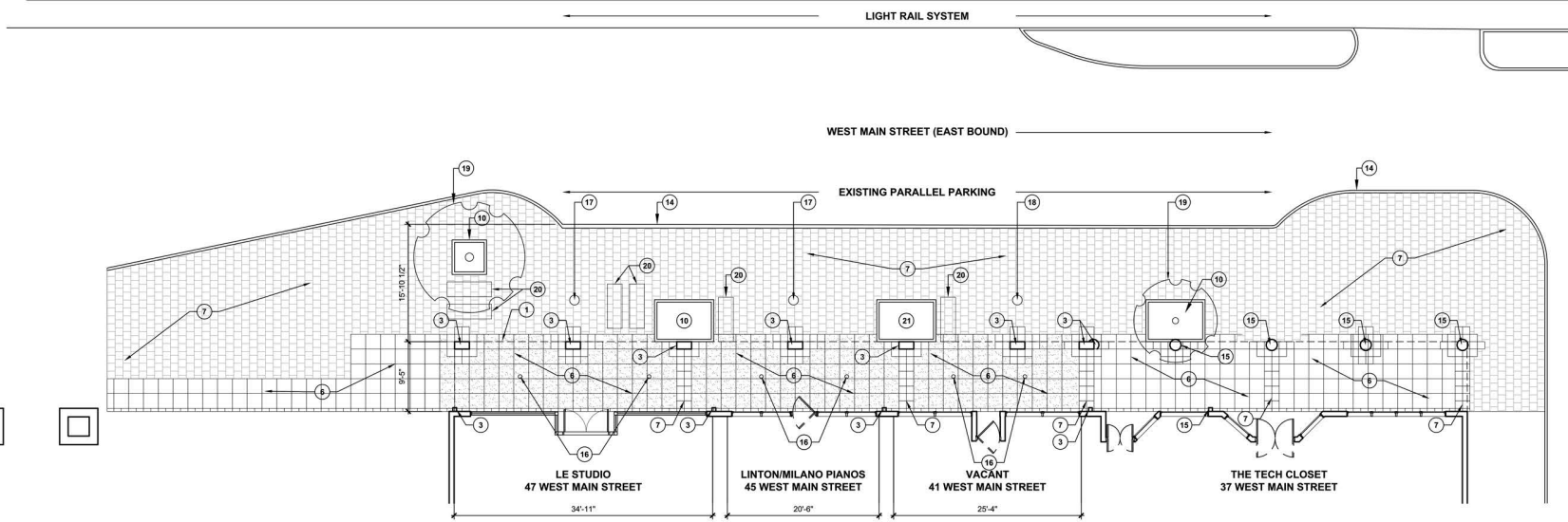
HISTORICAL PHOTOS

EXISTING PHOTOS

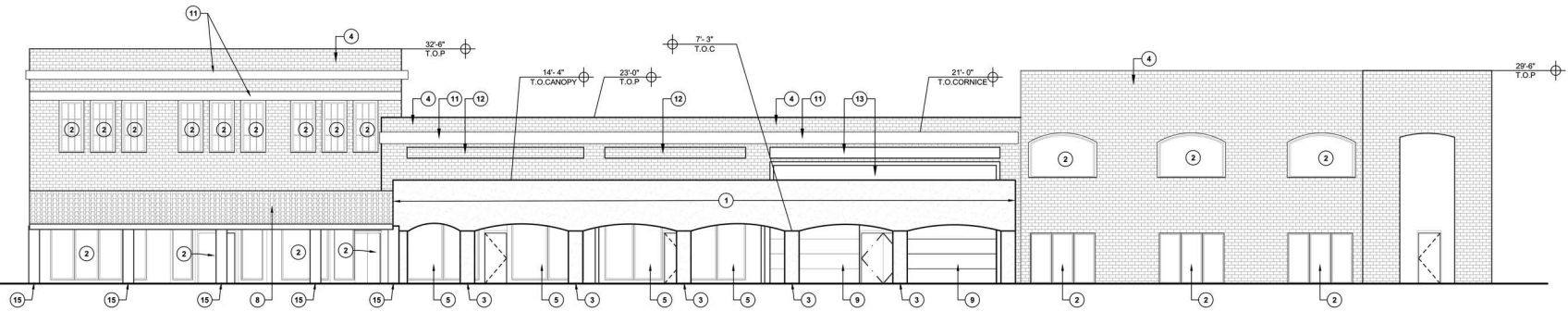
EXISTING CONDITIONS KEYNOTES

- ① EXISTING CANOPY STRUCTURE TO BE REMOVED
- ② EXISTING WINDOW SYSTEM
- ③ EXISTING CANOPY COLUMN TO BE REMOVED
- ④ EXISTING BRICK FACADE
- ⑤ EXISTING DOORSTOREFRONT SYSTEM TO BE REMOVED
- ⑥ EXISTING CONC. SIDEWALK
- ⑦ EXISTING PAVERSTONE PAVEMENT
- ⑧ EXISTING TILE ROOF
- ⑨ EXISTING ROLLING SERVICE DOOR
- ⑩ EXISTING PLANTER
- ⑪ EXISTING CORNICE
- ⑫ EXISTING RECESSED BRICK DETAIL
- ⑬ EXISTING PAINTED BRICK
- ⑭ EXISTING FACE OF CURB
- ⑮ EXISTING COLUMN
- ⑯ EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- ⑰ EXISTING LIGHT FIXTURE TO BE REMAIN
- ⑱ EXISTING LIGHT POLE FIXTURE TO BE REMOVED
- ⑲ EXISTING TREES
- ⑳ EXISTING STREET BENCHES
- ㉑ EXISTING PLANTER TO BE REMOVED AND FILLED

VICINITY MAP



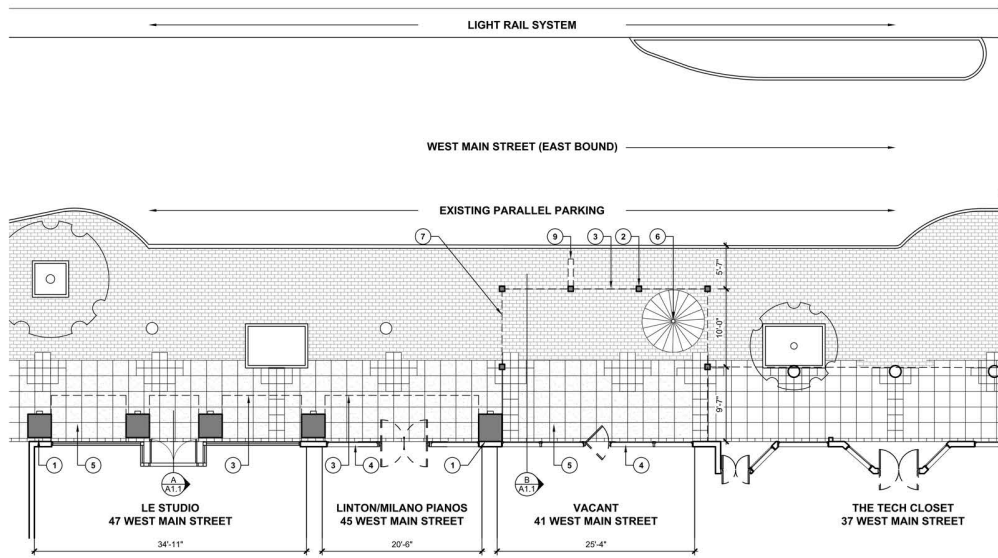
1 EXISTING SITE/FLOOR PLAN
SCALE: 1/8" = 1'0"



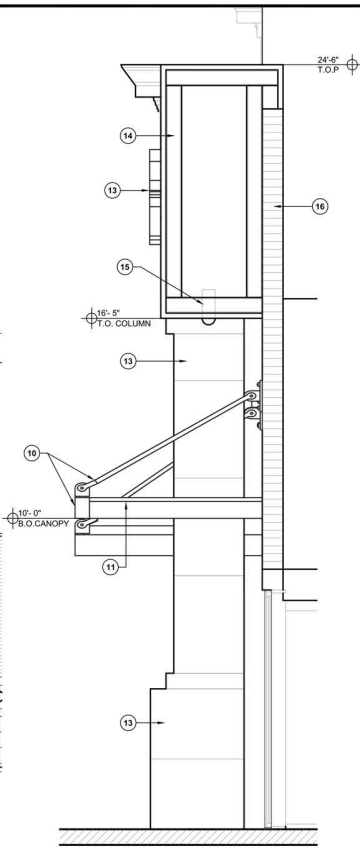
2 NORTH ELEVATION
SCALE: 1/8" = 1'0"

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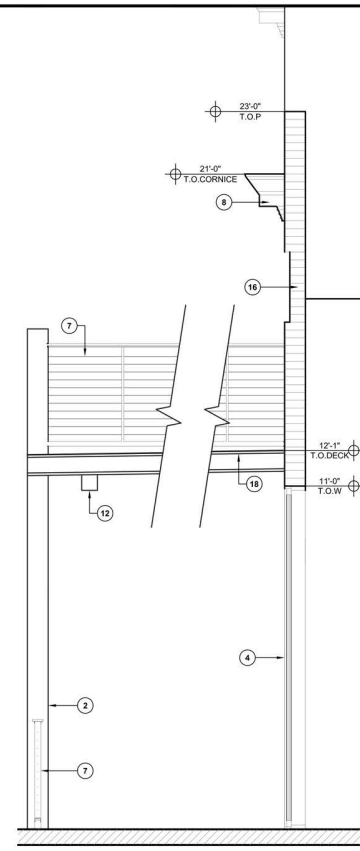
	JOB NO. 1721 adaptive ARCHITECTS 400 West Main Street Suite 200 Mesa, AZ 85201 480-615-0613 www.adaptivearchitects.com
	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201
EXISTING ELEVATIONS & FLOOR PLANS	DRAWING NO. A1.0
ACTIVITY: PROJ. NO.:	SHEET 1 OF
	CATALOG NUMBER:



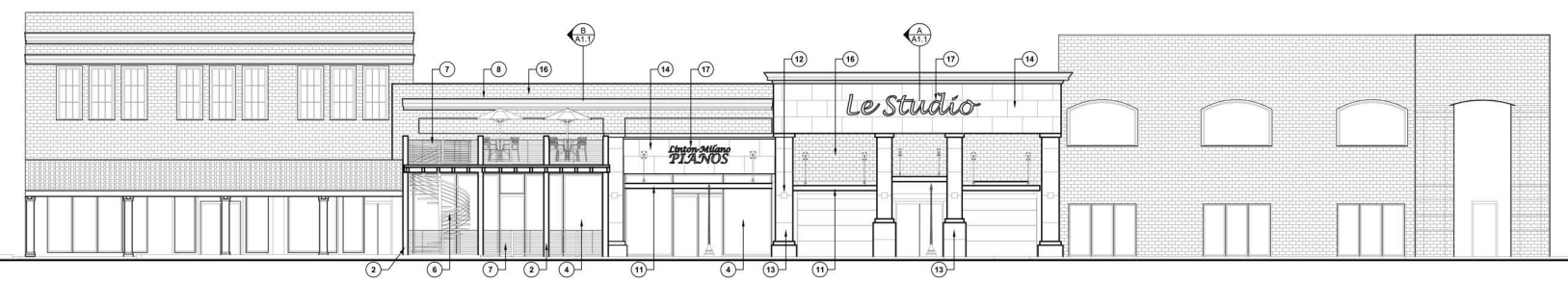
1 PROPOSED SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"



A WALL SECTION
SCALE: 1/2" = 1'-0"



B WALL SECTION
SCALE: 1/2" = 1'-0"



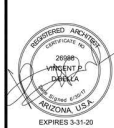
2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

CONSTRUCTION KEYNOTES

- 1 NEW COLUMN BASE
- 2 NEW STEEL COLUMN NATURAL PATINA
- 3 NEW CANOPY SYSTEM OVERHEAD
- 4 NEW STOREFRONT SYSTEM
- 5 REPAIR AND FILL EXISTING CONCRETE PAVEMENT
- 6 NEW SPIRAL STAIR TO UPPER DECK
- 7 CABLE RAIL GUARDRAIL SYSTEM
- 8 REFRABRICATED CORNICE
- 9 MARQUEE SIGN LOCATION
- 10 NEW STEEL CANOPY & TIE ROD SYSTEM W/LIGHTING
- 11 CANOPY FRAME
- 12 LIGHT FIXTURE
- 13 PRECAST CONCRETE PANEL AT COLUMN SMOOTH "WHITE" FINISH
- 14 SIMULATED PRECAST EIFS OVER FRAMED SYSTEM
- 15 SOFFIT LIGHT
- 16 EXISTING EXTERIOR BRICK WALL
- 17 PAN CHANNEL LETTERS WITH BACK LIGHT
- 18 COMPOSITE STEEL AND CONCRETE DECK OVER STEEL BEAMS



JOB NO. 1721



**CITY OF MESA
ENGINEERING DEPARTMENT**
DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

PROPOSED ELEVATIONS & FLOOR PLANS

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NORTH ELEVATION



VIEWING SOUTHWEST




VIEWING SOUTHEAST



VIEWING SOUTHEAST AT NIGHT

DATE PRINTED: \$DATE\$ \$FILES\$



 REGISTERED ARCHITECT STATE OF ARIZONA VINCENT J. DAVACA MESA, ARIZONA, U.S.A. EXPIRES 3-31-20	JOB NO. 1721	 adaptive ARCHITECTS 401 West Main Street Suite 200 Mesa, AZ 85201 480-515-0513 www.adaptivearchitects.com
	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201	
ACTIVITY: PROJ. NO.:	SHEET OF	CATALOG NUMBER: DRAWING NO. A1.2

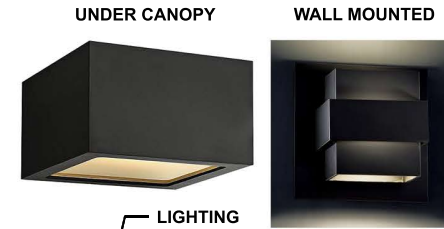


DOOR HANDLES



MARQUEE SIGN

SIGNS PAN CHANNEL
LETTERS BACK LIGHTED



UNDER CANOPY

WALL MOUNTED

LIGHTING



SOFFIT

SMOOTH FACE EIFS



GLASS/STOREFRONT OFFSET GLAZED SYSTEM



NATURAL PATINA STEEL

CANOPY SYSTEMS
POWDER COATED BLACK



PRECAST CONCRETE SMOOTH FINISH "WHITE"



COLOR AND MATERIAL PALLETE

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ACTIVITY: PROJ. NO.:	SHEET OF	CATALOG NUMBER: A1.3

**Design Review Board – Work Session Minutes
August 8, 2017**

E.3. DRB17-00116 47 W. Main St. Façade Improvement

LOCATION/ADDRESS: The 0-100 Block of West Main Street (south side)
REQUEST: This is a review of a façade improvement
COUNCIL DISTRICT: 4
OWNER: Laurent Teichman
APPLICANT: Jeff McVay, City of Mesa
STAFF PLANNER: Jeff McVay

Discussion: The Architect, Vince DiBella, presented the project to the Board.

Boardmember Sandstrom

- Liked the large format marble application

Boardmember Placko

- Suggested that the Main Street comprehensive landscaping program be applied to all of the public spaces throughout the street